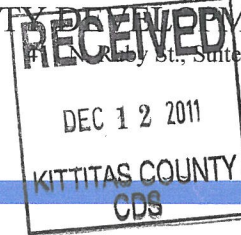


KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES



1100 Ruby St., Suite 2, Ellensburg, WA 98926
CDS@CO.KITTITAS.WA.US
Office (509) 962-7506
Fax (509) 962-7682

VA-11-00004

ZONING VARIANCE APPLICATION

Relief from a provisions of Title 17 when, because of unusual circumstances, following such provision would cause undue hardship (See KCC 17.84)

Please type or print clearly in ink. Attach additional sheets as necessary. Pursuant to KCC 15A.03.040, a complete application is determined within 28 days of receipt of the application submittal packet and fee. The following items must be attached to the application packet.

REQUIRED ATTACHMENTS

- Site plan of the property with all proposed: buildings; points of access, roads, and parking areas; septic tank and drainfield and replacement area; areas to be cut and/or filled; and, natural features such as contours, streams, gullies, cliffs, etc.
- Project Narrative responding to Questions 9 and 10 on the following pages.

APPLICATION FEES:

\$523.00 Kittitas County Community Development Services (KCCDS)
 \$50.00 Kittitas County Department of Public Works
 \$65.00 Kittitas County Fire Marshal
\$638.00 Total fees due for this application (One check made payable to KCCDS)

For Staff Use Only

Application Received By (CDS Staff Signature): SM

DATE: 12/12/11 RECEIPT # 13192

RECEIVED
DEC 12 2011
KITTITAS COUNTY
CDS

DATE STAMP IN BOX

GENERAL APPLICATION INFORMATION

1. Name, mailing address and day phone of land owner(s) of record:

Landowner(s) signature(s) required on application form.

Name: Bonnie Larson
Mailing Address: 35459 25th Place South
City/State/ZIP: Federal Way, WA 98003
Day Time Phone: 253-951-5203
Email Address: bonnieestelle@hotmail.com

2. Name, mailing address and day phone of authorized agent, if different from landowner of record:

If an authorized agent is indicated, then the authorized agent's signature is required for application submittal.

Agent Name: Teresa Patton
Mailing Address: 205 62nd Avenue East
City/State/ZIP: Tacoma, WA 98424
Day Time Phone: 206-963-1000 or 253-596-0043
Email Address: teresa.patton@cbre.com

3. Name, mailing address and day phone of other contact person

If different than land owner or authorized agent.

Name: _____
Mailing Address: _____
City/State/ZIP: _____
Day Time Phone: _____
Email Address: _____

4. Street address of property:

Address: 820 Oakmont Drive
City/State/ZIP: Cle Elum, WA 98922

5. Legal description of property (attach additional sheets as necessary):

Lot 36 Sun Country Estates, 3rd Addition, a portion of the NW ¼ of the SE ¼ of Section 35, Township 20 North, Range 14 East, W.M., Kittitas County, Washington

6. Tax parcel number: 263234

7. Property size: .24 (acres)

8. Land Use Information:

Zoning: R3 Comp Plan Land Use Designation: R3

PROJECT NARRATIVE

(INCLUDE RESPONSES AS AN ATTACHMENT TO THIS APPLICATION)

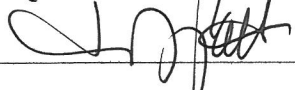
9. **Narrative project description (include as attachment):** Please include at minimum the following information in your description: describe project size, location, and the provision of zoning code for which this variance is requested and the way in which you wish to vary from the code.
10. **A variance may be granted only when the following criteria are met (see KCC 17.84.10). Please describe in detail how each criteria is met for this particular request:**
- A. Unusual circumstances or conditions applying to the property and/or the intended use that do not apply generally to other property in the same vicinity or district, such as topography.
 - B. Such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by the owners of other properties in the same vicinity.
 - C. That authorization of such variance will not be materially detrimental to the public welfare or injurious to property in the vicinity.
 - D. That the granting of such variance will not adversely affect the realization of the comprehensive development pattern.

AUTHORIZATION

11. Application is hereby made for permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to enter the above-described location to inspect the proposed and or completed work.

All correspondence and notices will be transmitted to the Land Owner of Record and copies sent to the authorized agent or contact person, as applicable.

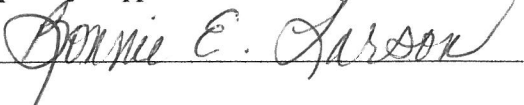
**Signature of Authorized Agent:
(REQUIRED if indicated on application)**

X  _____

Date:

12-7-11

**Signature of Land Owner of Record
(Required for application submittal):**

X  _____

Date:

12-6-11

1. **Narrative project description (include as attachment):** Please include at minimum the following information in your description: describe project size, location, and the provision of zoning code for which this variance is requested and the way in which you wish to vary from the code.

The property is .24+/- acres with a residential R3 zoning. The property is located in Division 3 of Sun Country Estates in Cle Elum. The building code requires a 15 foot setback on the sides of the home (between neighbors) with a front setback of 25 feet and rear setback of 15 feet.

We are asking for a change in side setback from 15 feet to 7 feet to accommodate the length of the current home plan (copy attached).

2. **A variance may be granted only when the following criteria are met (see KCC 17.84.10). Please describe in detail how each criteria is met for this particular request:**
 - A. Unusual circumstances or conditions applying to the property and/or the intended use that do not apply generally to other property in the same vicinity or district, such as topography.
 - B. Such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by the owners of other properties in the same vicinity.
 - C. That authorization of such variance will not be materially detrimental to the public welfare or injurious to property in the vicinity.
 - D. That the granting of such variance will not adversely affect the realization of the comprehensive development pattern.

The building lot is very narrow in width but fairly deep. In order to construct the appropriate septic system (pressure distribution system) and allow for the side setbacks, it is very difficult to fit a home on the lot. We have chosen a very small house plan (1,068sf) because of the constricted lot size.

Variances are fairly common throughout Sun Country Estates #3 in order to accommodate residential building given the small and odd sized lots.

A variance will not have any impact on neighboring homes as the homes are built on small odd shaped lots and our home plan is consistent with the neighborhood and will not impact zoning.

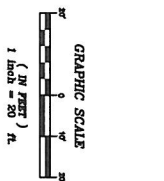
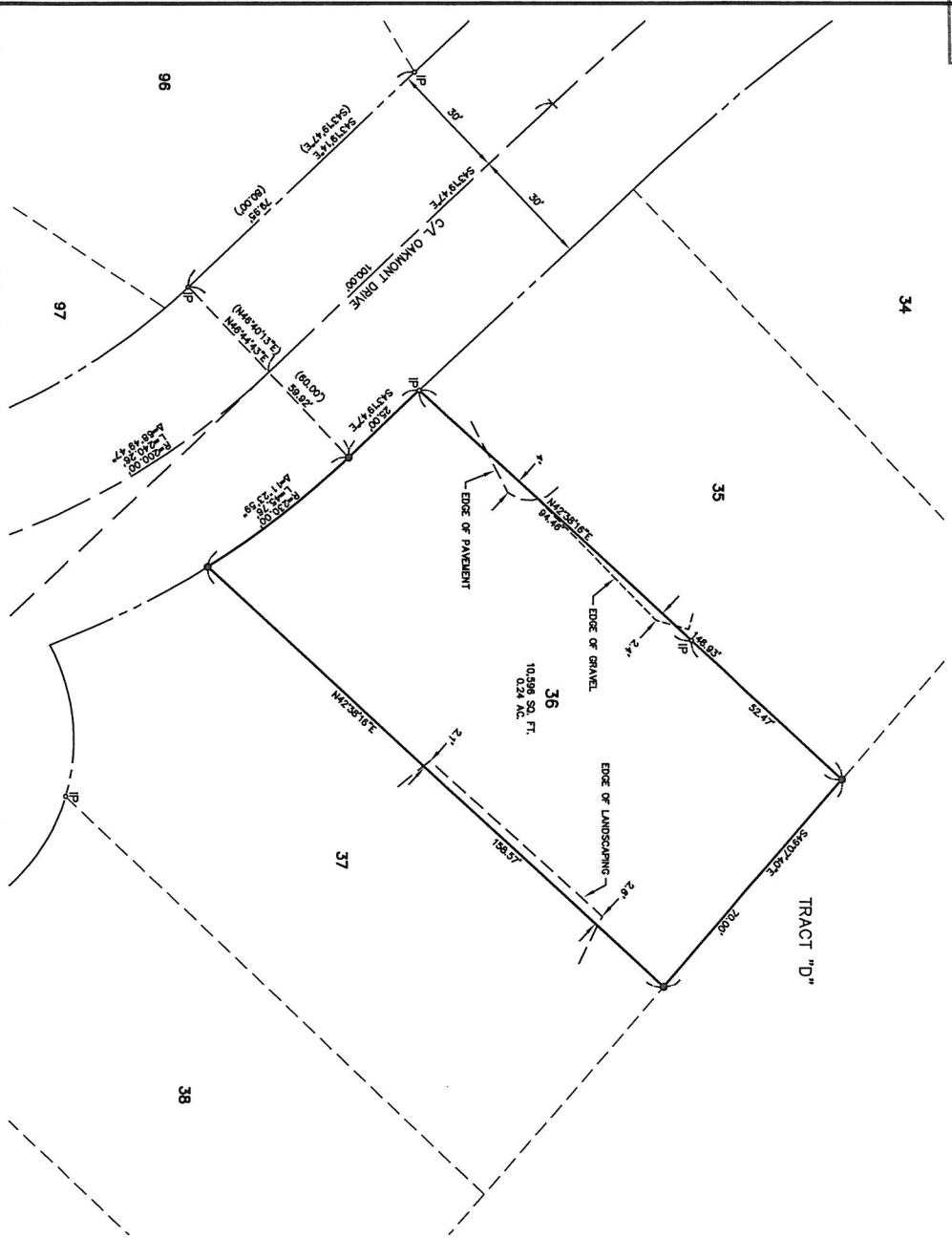


RECEIVED

DEC 12 2011
KITITAS COUNTY
CDS

RECORD OF SURVEY
LOT 36, SUN COUNTRY ESTATES, 3RD ADDITION
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 35,
TOWNSHIP 20 NORTH, RANGE 14 EAST, W.M.,
KITITAS COUNTY, WASHINGTON

VA-11-00004



- NOTES:
1. THE PURPOSE OF THIS SURVEY IS TO IDENTIFY AND MARK THE EXTERIOR BOUNDARY LINES ON LOT 36, SUN COUNTRY ESTATES, 3RD ADDITION.
 2. THIS SURVEY WAS PERFORMED USING A TRIMBLE SS TOTAL STATION, THE LOCATED, STRIPPED AND CHECKED FROM A CLOSED FIELD MEASUREMENT OF 1:10,000 LINEAR CLOSURE AFTER ADJUSTMENT.
 3. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE, IT DOES NOT PURPORT TO SHOW ALL EASMENTS, ENCUMBRANCES OR RESTRICTIONS OF RECORD OR OTHERWISE.
 4. FOR ADDITIONAL SURVEY INFORMATION, SEE THE FOLLOWING:
 - BOOK 5 OF PLAT PAGES 53-54, APR. 30/2122

AND THE SURVEY IS REFERENCED THEREON, ALL RECORDS OF KITITAS COUNTY, STATE OF WASHINGTON.

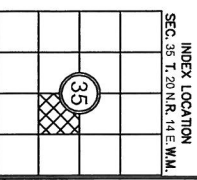
5. THE BEARS OF BEARINGS IS THE SAME AS THE PLAT OF RECORD, SUN COUNTRY ESTATES - 3RD ADDITION.

EXISTING LEGAL DESCRIPTION - APR. 2007/28280005:
LOT 36, SUN COUNTRY ESTATES, 3RD ADDITION, IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, AS SHOWN AND DESCRIBED IN BOOK 5 OF PLATS, PAGES 53 THROUGH 54, RECORDS OF SAID COUNTY.

PARCEL INFO:
PARCEL NO.: 203234
APN: 520-0959-0036
ADDRESS: 520 OAKMONT DR., CLE ELUM, WA 98922

LEGEND

- IP FOUND 1/2" IRON PIPE, NO CAP
- SET 3/8" IRON ROD & CAP, LS 45503
- () RECORD INFORMATION



RECORDER'S CERTIFICATE
FILED FOR RECORD THIS DAY OF 20 AT M.
IN BOOK OF AT PAGE AT THE REQUEST OF
DUSTIN L. PIERCE
SURVEYOR'S NAME
GEMAL V. RUSTI
County Auditor
Deputy County Auditor

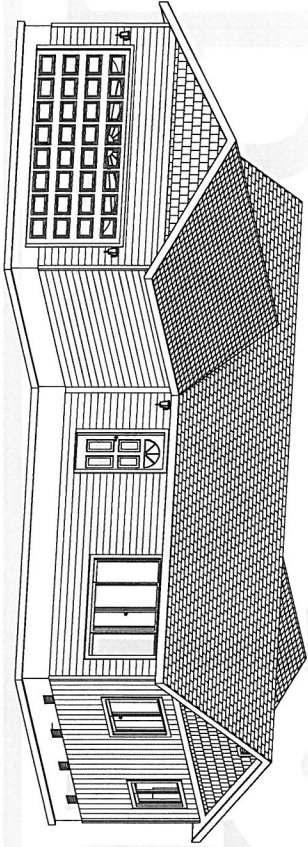
SURVEYOR'S CERTIFICATE
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN COMPLIANCE WITH THE REQUIREMENTS OF THE SURVEY
RECORDING ACT AT THE REQUEST OF BONNIE LARSON
IN NOV. 2011.
DUSTIN L. PIERCE DATE
CERTIFICATE NO. 45503

BOUNDARY SURVEY
PREPARED FOR
BONNIE LARSON
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 35,
KITITAS COUNTY, WASHINGTON
TOWNSHIP 20 NORTH, RANGE 14 EAST, W.M.

DMM BY	DATE	JOB NO.
D. PIERCE	11/20/11	11121
CHKD BY	SCALE	SHEET
D. NELSON	1"=20'	1 OF 1

Encompass
ENGINEERING & SURVEYING
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055
108 East 2nd Street • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

NOTE: Some options may show on your set of house plans that are not included on a part of your Construction Contract with Reality Homes Inc.



3D Rendering - NOT to Scale

5/4"x6" Belly Band on walls w/ LP Smart Side and Gable above.

Design Criteria
 Snow Load ---- 120 lbs
 Wind Speed ---- 35 mph
 Exposure ---- C
 Seismic ---- C

Heating System
 Electric Furnace w/ Heat Pump

Appliance Fuel Source
 Stove Electric
 Dryer Electric
 Water Heater Electric

Glassing Sq Ft 32.50 sq ft
 Ext. Door Sq Ft 36.17 sq ft
 Total Glassing Sq Ft 118.67 sq ft
 divided by
 Heated Living Space 1068 sq ft
 Glazing Percentage 11.11%
 Garage Windows not included

Square Footage Totals

1st Floor 1068 sq ft
 Garage 403 sq ft

House Designer - Reality Homes, Inc.
 1308 Alexander Ave. E.
 Fife, WA 98424

Engineer of Record - Hodge Engineering
 259 722 2266
 2615 Lahn Ave. NW
 Gig Harbor, WA 98335

Tuss Manufacturer - Group Inc.
 8391 Kavana Circle
 Sacramento, CA 95828
 916.357.0116

List of Codes

2004 International Residential Codes

Sheet Index	
Sheet 1 of 7 -	Cover Sheet
Sheet 2 of 7 -	Floor Plan
Sheet 3 of 7 -	Foundation & Floor Framing
Sheet 4 of 7 -	Roofing & Drainage
Sheet 5 of 7 -	Elevations
Sheet 6 of 7 -	Floor Covering & Cross sections
Sheet 7 of 7 -	Details
Sheet 11 -	Manufacturer - List Label
Sheet 11 -	Engineer's Detail Design Page
Sheet D1 -	Engineer's Detail Page
Sheet N1 -	Engineer's Notes Page

The Construction Site is Located within Kittitas County.

RECEIVED

DEC 1 2 2011

KITTITAS COUNTY

CDS

Printed on 11/28/2011 at 2:02:35 PM



1501 Alouder Ave. E. Fife, WA 98424
 PH - 253.722.2266 FX - 253.429.2070
 Designer - Jared Stahmer
 Customer Job Number
 Project Number

Contractor License Expiration 02/15/12
 WA Lic # 16319 Exp 08/14/11
 OR CC# 16319 Exp 08/14/11
 02/15/11 856-28233 Exp 08/15/11

These plans were exclusively designed for

Bonnie Larson

820 Oakmont Drive
 Cle Elum, Wa 98922

Parcel # - 263234

These Plans have been exclusively designed for Reality Homes Inc. and are to be considered an unpublished work which is protected under copyright law. This Plan Set may be used only by Bonnie Larson for the Property located at 820 Oakmont Drive Cle Elum, WA 98922 (Project Number) and only built by Reality Homes Inc. This Plan Set may not be altered, copied or otherwise reproduced or associated without the written permission of Reality Homes Inc. Any violation shall be strictly enforced.

The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract items. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, cabinets, millwork, etc. must be identified prior to the installation of construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the subcontractors.

These Plans are diagrams. In nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the governing Regulatory Agency regarding compliance with local and International Residential & Building Codes. It shall be understood that non-regulatory items which are not required for approval for construction may not appear within these plans. The Builder reserves the right to construct the building according to a pre-submitted Building Order generated by Reality Homes Inc. For finishes and options, please refer to the said Building Order. In particular, the Options specified within the Building Order shall be strictly adhered to if a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, materials, colors, and features without prior notice or obligation. All conceptual illustrations are computer generated and are subject to change in actual production. All square foot measurements are approximated.

Sheet Description
 Cover Sheet
 1068 Turnwater South
 1 of 7

This Set of Plans is licensed for one time use and must be built only by Reality Homes Inc.

WA-11-00004

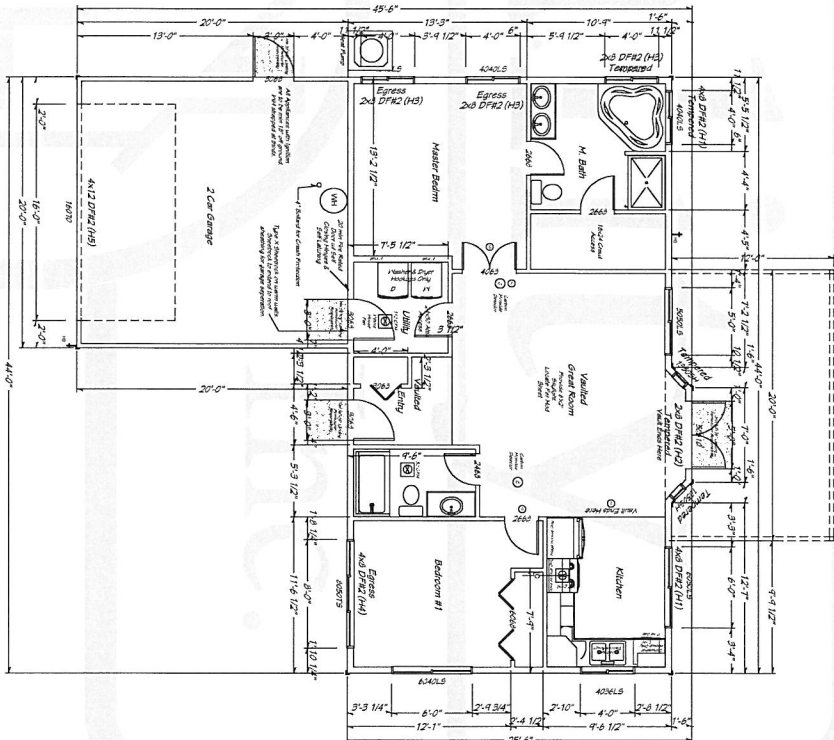
NOTE: Some options may show on your set of house plans that are not included on a part of your Construction Contract with Realty Homes Inc.

Framing Notes

Roof Trusses shall be Pre-Engineered/Pre-Manufactured Wood Trusses spaced at 24" o.c. Flat ceiling trusses over entire area with 2x6 floor joists. Trusses over specified areas. Note Line of work on floor plan.
 All Trusses shall be installed and braced according to the Manufacturer's instructions. Design calculations shall be kept with the Building Permit and shall be made readily available to the Building Department. Trusses shall be installed in accordance with the manufacturer's instructions. Design calculations shall be kept with the Building Permit and shall be made readily available to the Building Department. Trusses shall be installed in accordance with the manufacturer's instructions. Design calculations shall be kept with the Building Permit and shall be made readily available to the Building Department.
 Outlooks shall be 2x4 spaced at 48" o.c. @ each Gable End.
 Roof Sheathing Nailing shall be at 8d @ 8" o.c. Panel Edges and 12" o.c. @ Intermediates.
 Wall Sheathing Nailing shall be at 8d @ 8" o.c. Panel Edges and 12" o.c. @ Intermediates. U.N.O. (See Panel Details for additional information.)
 All Exterior Wall Headers shall be a 4x12 DF#2 U.N.O. (Insulation install on inside of header in the case that a header is required. Installation of header is not required.)
 All Exterior Wall Headers shall be a 4x6 DF#2 U.N.O.
 All Blocking @ Roof Trusses exposed to the exterior shall be screened "Blind Block".

Garage Notes

Garage walls, columns, and ceilings adjacent to or under dwelling areas shall have materials approved for One-Hour fire resistive construction.
 All electrical switch plates and box covers in the garage shall be a minimum of 28-gauge steel.
 All piping passing through one-hour fire resistive construction shall be a minimum of 28-gauge steel.
 All electrical switch plates and box covers in the garage shall be metal and lights with boxes behind them shall not be plastic.
 All piping passing through one-hour fire resistive construction shall be metal.
 Air ducts and or piping supported by structural members that are required shall be protected with 1/2" minimum thick stock with required fire retardant. Piping shall be protected with 1/2" minimum thick stock with required fire retardant. Piping shall be protected with 1/2" minimum thick stock with required fire retardant. Piping shall be protected with 1/2" minimum thick stock with required fire retardant.
 All piping passing through one-hour fire resistive construction shall be metal.
 All electrical switch plates and box covers in the garage shall be metal and lights with boxes behind them shall not be plastic.
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Windows and/or is Empire Profile & U Factor is 35 and single pane are 50
 Exterior Door U-Factor is 0.18 and 5 U-Factor is 30

ITEM	DESCRIPTION	QUANTITY	UNIT
1	2" x 4" x 8' 6" Gypsum Board	1	Sheet
2	2" x 4" x 8' 6" Gypsum Board	1	Sheet
3	2" x 4" x 8' 6" Gypsum Board	1	Sheet
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99	2" x 4" x 8' 6" Gypsum Board	1	Sheet
100	2" x 4" x 8' 6" Gypsum Board	1	Sheet

Main Floor Plan
 Scale 1/4" = 1'

Sheet Description
 Floor Plan
 1068 Turnwater South
 2 of 7

The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and grading requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract areas. To avoid costly mistakes, errors and omissions, any discrepancies in dimensions or construction materials, appliances, cabinets, millwork, etc. must be identified prior to the installation of construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the subcontractors.

These Plans are diagrammatic in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the governing Regulatory Agency regarding compliance with Local and International Residential Building Codes. It shall be understood that non-regulatory items which are not required for construction may not appear within these plans. The Builder reserves the right to construct the building according to a recommended Building Order generated by Realty Homes Inc. For fixtures and options, please refer to the said Building Order. In particular, the Options specified within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

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These plans were exclusively designed for
Bonnie Larson
 820 Oakmont Drive
 Cle Elum, WA 98922
 Parcel # - 263234

These Plans have been exclusively designed for Realty Homes Inc. and are to be considered an unseverable work product which is protected under copyright law. This Plan set may be used only by Realty Homes Inc. for the property located at 820 Oakmont Drive Cle Elum, WA 98922 (Parcel #263234) and only built by Realty Homes Inc. This Plan set may not be altered, copied or otherwise reproduced without the written permission of Realty Homes Inc. Any violation shall be strictly enforced.

Realty Homes Inc.

1520 Alexander Ave E. P.O. Box 98424
 PH - 253 322 3266 FX - 253 423 2070
 Designer - Jared Bachner
 Customer-Service Number
 Project Number

Contractor License Expiration
 WA Lic # R02ALR000000 Exp 02/18/12
 OR Lic # 166316 Exp 08/18/11
 ID Lic # NCC-26255 Exp 08/18/10

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NOTE: Some options may show on your set of house plans that are not included or a part of your construction contract with Reality Homes Inc.

Foundation Notes - Single Story

See Building Sections and Details Sheet within this set for Details and Calculus for Foundation and Wall to Foundation connecting.

Single Story Perimeter Foundation that will support a 2x6 Framed Stud Wall shall consist of a 12" x 6" Min. Continuous Concrete Footing w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" @ each leg. Tie all bars securely with wire ties. (2) min. per splice.

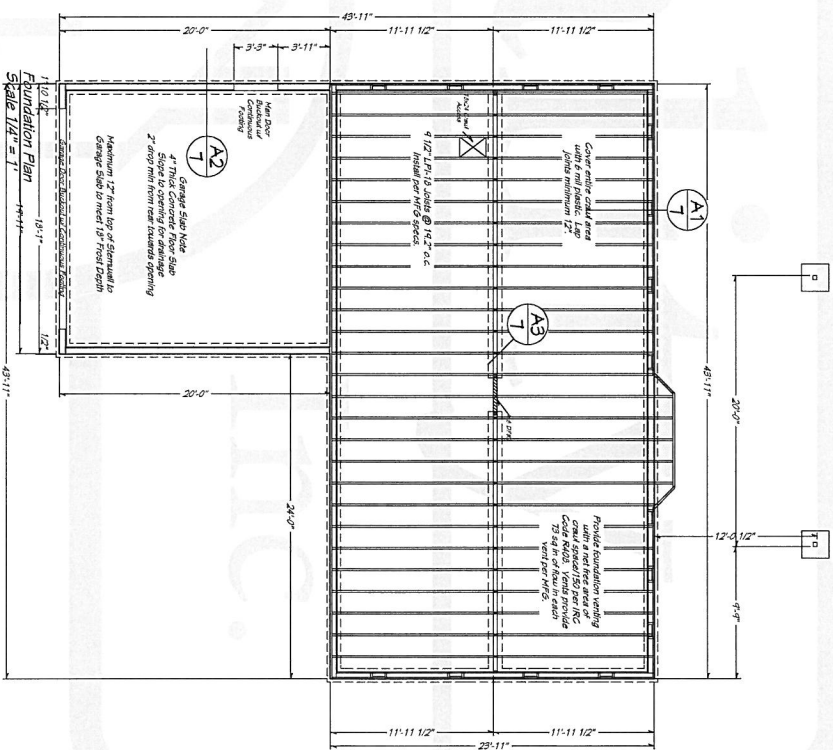
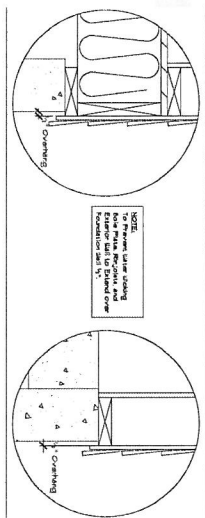
Garage Foundation that will support a Single Story 2x4 Framed Stud Wall shall consist of a 12" x 6" Min. Continuous Concrete Footing w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" @ each leg. Tie all bars securely with wire ties. (2) min. per splice.

Foundation Stem Walls for a Single Story Bearing Wall shall consist of a 22" x 24" Tall x 6" Wide Stem Wall w/ (1) #4 continuous Rebar. Overlapping bars shall be 24" min. Corner bars shall be 24" @ each leg. Tie all bars securely with wire ties. (2) min. per splice.

All Continuous Concrete Footings for Exterior Bearing Walls that incorporate a Concrete Stem Wall shall have #4 Vertical Rebar with hook spaced @ 46" o.c. More pours are OK with without vertical rebar.

Please See Engineering "T" Pages for Holddown Locations. If Foundation needs to be a Stopped Foundation, See "Step Footing" on Engineering Sheet D1.

Foundation Contractor to verify vent placement is done to IRC code



Sheet Description
Foundation Plan
 Plan Name
 1068 Turnwater South
3 of 7

The Client / Home Owner / General Contractor shall verify all setbacks, dimensions, structural details, building codes, and zoning requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract areas. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, casework, millwork, etc. must be identified prior to the installation of construction materials. The builder shall not be held responsible for errors caused due to a lack of consultation by the subcontractors.

These Plans are diagrams in nature and are intended to identify the most significant elements of the building's construction. These Plans are intended to provide adequate information to the governing Regulatory Agency regarding compliance with Local and International Residential Building Codes. It shall be understood that non-regulatory items which are not required for approval for construction may not appear within these plans. The Builder reserves the right to construct the building according to a new authorized Building Order generated by Reality Homes Inc. For finishes and options, please refer to the later Building Order. In particular, the Options recorded within the Building Order shall be strictly adhered to. If a building element is not shown on the plans but appears within the Building Order, the Building Order shall govern.

In our continuing effort to improve our product, Reality Homes Inc. reserves the right to modify and change floor plans, materials, colors, and features without prior notice or notification. All conceptual illustrations are computer-generated and are subject to change in actual production. All square foot measurements are approximate.

These plans were exclusively designed for
Bonnie Larson
 820 Oakmont Drive
 Cle Elum, WA 98922
 Parcel # - 263234

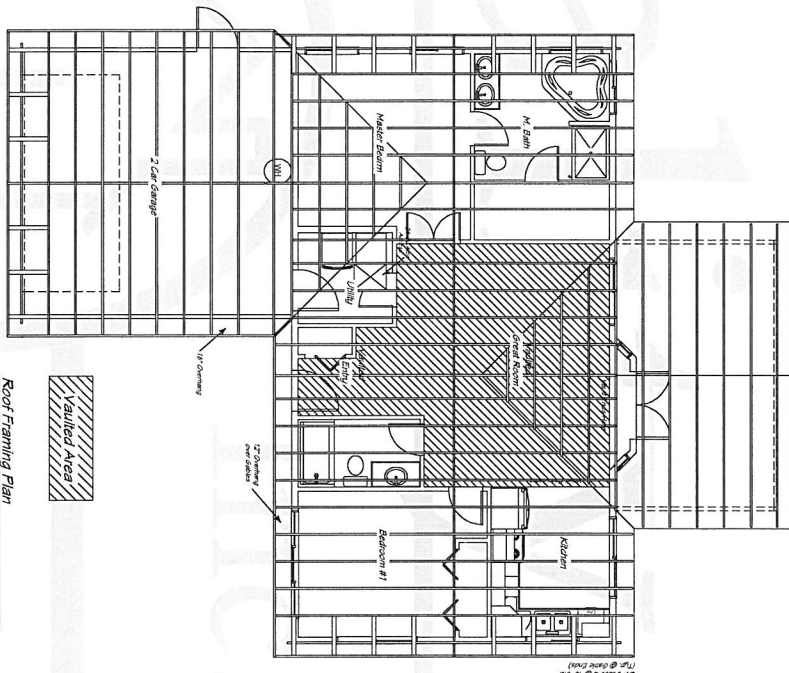
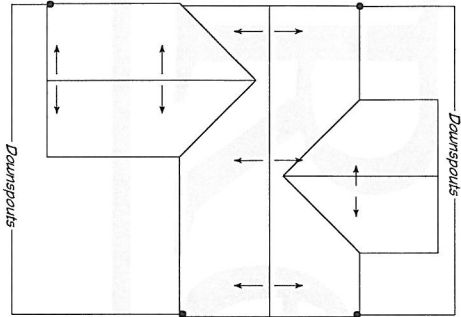
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Reality Homes Inc.

1300 Alexander Ave. E. P.O. Box 8624
 P.O. Box # 16916
 Ph: 253.222.2246 FX: 253.423.2070
 Designer - Jared Bahner
 Customer Job Number
 Project Number

Contractor License Expiration
 PIA Lic # REALHOMES040001012
 OR CCB # 16916 E- 061911
 ID Lic # NCE-25218 Exp: 05/19/10

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Roof Venting Requirements

Air Ventilation shall be in accordance to Section R0901.4, Exception 1, of the International Residential Building Code. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, casework, millwork, etc. must be identified prior to the installation of construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the subcontractors.

Roofing Notes

Use Composition Asphalt Shingles per Building Package Specification. Minimum 30 Year Warranty. Use 30 Year or Longer Warranty Asphalt Shingles. Use 30 Year or Longer Warranty Aluminum Gutters or equivalent.

Truss Notes

Pre-Engineered / Pre-Manufactured Roof Trusses (Pitch Specified on Page 4 - If vaulted truss, include vault to half pitch size U.N.O.) @ 24" o.c. Use "Bird Block" between each Truss @ Rafter Line. Use Simpson HD 5 @ Each End of Every Truss. Place Outlets over Gable Ends @ 48" o.c.

Plan Name
1068 Turnwater South

Sheet Description
Roofing Plan

4 of 7

The Client / Home Owner / General Contract shall verify all setbacks, dimensions, structural details, building codes, and utility requirements. The builder reserves the right to modify these plans and dimensions according to site conditions. All subcontractors shall coordinate closely with the builder prior to proceeding with the layout of their respective contract award. To avoid costly mistakes, errors and/or omissions, any discrepancies in dimensions or construction materials, appliances, casework, millwork, etc. must be identified prior to the installation of construction materials. The builder shall not be held responsible for errors caused due to a lack of coordination by the subcontractors.

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Bonnie Larson
820 Oakmont Drive
Cle Elum, Wa 98922
Parcel # - 263234

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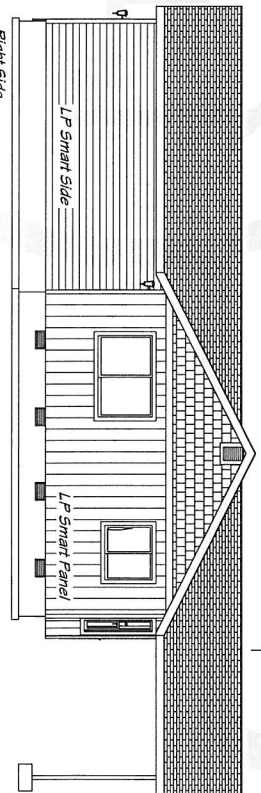
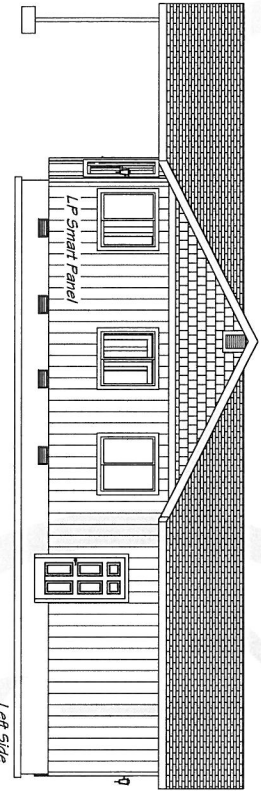
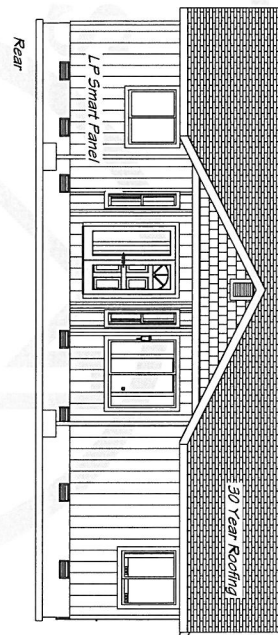
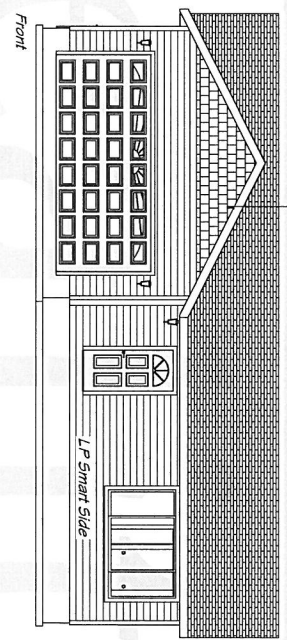
Realty Homes Inc.

1200 Alexander Ave. E. P.O. Box 8424
PH 253.222.2286 FX 253.423.2010
Designer - Jared Schaeffer
Customer-Id Number
Project Number

Contractor License Expiration
PH Lic # RC2AL00000000 Exp 02/18/12
OR CC# # 166910 Exp 08/18/11
ID Lic # RC2-252628 Exp 09/13/10

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NOTE: Some options may show on your set of house plans that are not included on a part of your Construction Contract with Realty Homes Inc.



Elevations
Scale 1/4" = 1'

Exterior Finish Notes

Front Building Facade - Horizontal "Smart Side" by LP Sides and Rear Building Facade - "Smart Panel" by LP
 Gable - 5/8" x 1/2" Pre-primed "Yates Wood" Composite Siding
 Windows - 1" x 4" Pic-Primed "Yates Wood"
 Gutters & Downspouts - Continuous Metal
 Gable Vents - Pre-manufactured 12" x 19" Vents

Roof Pitch = 6:12
12
6

Sheet Description
Elevations
1066 Turnwater South
Plan Name
5 of 7

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 Cle Elum, WA 98922
 Parcel # - 263234

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Realty Homes Inc.

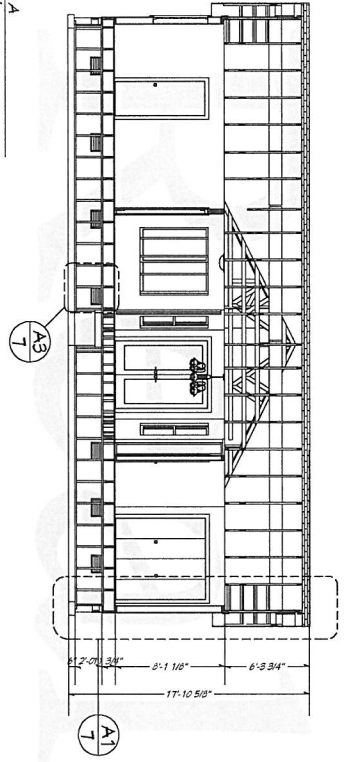
1520 Alexander Ave E. P.O. Box 94424
 PH - 253.722.2266 FX - 253.423.2373
 Designer - Janna Schreiner
 Customer Job Number
 Project Number

Contractor License Expiration
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 OR CC B # 165315 Exp 04/18/17
 ID Lic # RSCA08225 Exp 05/18/19

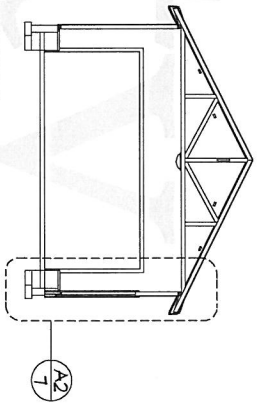
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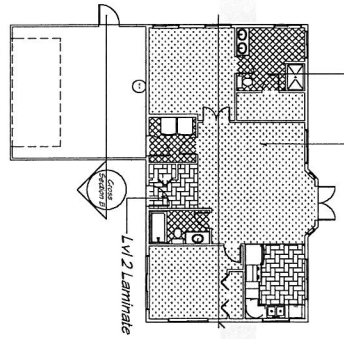
Cross Section A
Scale 1/4" = 1'



Cross Section B
Scale 1/4" = 1'



Standard Grade
Carpet w/ Fib Pad
Level 2 Tile



Floor Covering & Cross Section Locator
No Scale

Kitchen Base Cabinets are standard 36" tall and 24" deep.
 Kitchen Wall Cabinets are standard 30" tall and 12" deep.
 Kitchen Wall Cabinets above appliances are 14" tall and 12" deep.
 Guest Bath Cabinets are standard 30" tall and 21" deep.
 Master Bath Cabinets are standard 36" tall and 21" deep.

Standard Appliance Openings*
 Dishwasher - 24" W x 36" H x 24" D
 Washer / Dryer - 30" W x 30" D
 Range - 30" W x 36" H x 30" D
 Fridge - 36" W x 70" H

IMPORTANT - If you have different sized than the standard openings please contact us so we can make a note of it in your file.

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Bonnie Larson
 820 Oakmont Drive
 Cle Elum, Wa 98922
 Parcel # - 263234

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Sheet Description
 Cross Sections
 Plan Name
 1069 Turnwater South
 6 of 7

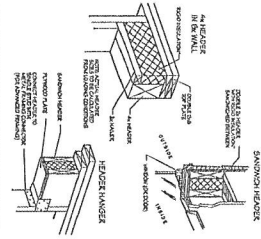
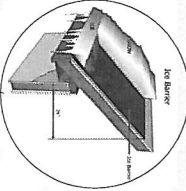
Realty Homes Inc.

1201 Alexander Ave. E. P.O. Box 18424
 Ph: 253.222.2200 FX: 253.423.2010
 Designer - Jared Satterler
 Customer ID Number
 Project Number

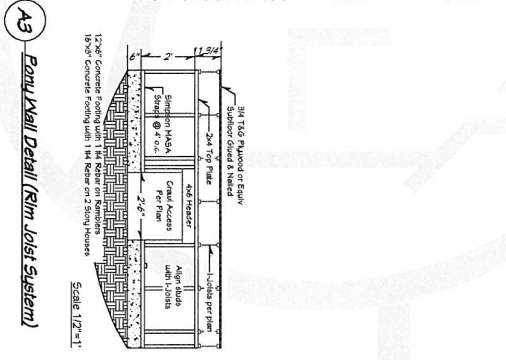
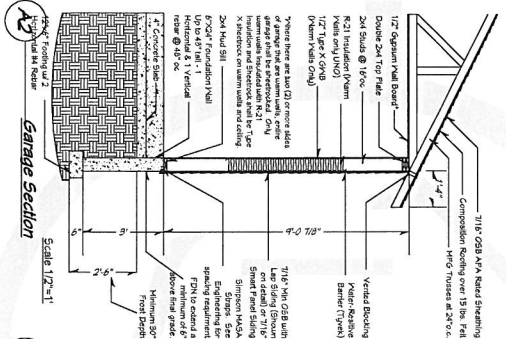
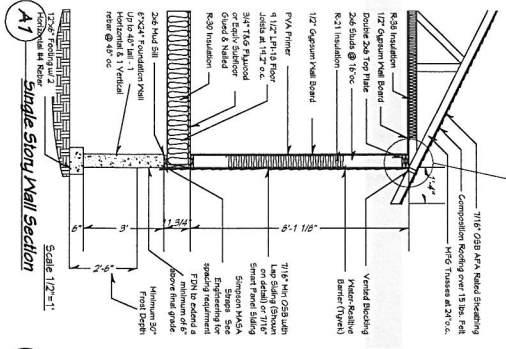
Contractor License Expiration
 WA Lic # RCAL1603430 Exp 02/18/17
 OR CC# # 166319 Exp 04/18/17
 ID Lic # RC6-263234 Exp 05/18/17

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Insulated Header Detail



General Notes

All construction to conform to the 2009 International Residential Code

CONCRETE: Compressive strength for basement and foundation steps shall be a min. 3,000 p.s.i. at 28 days. Concrete shall be air entrained at between 5 & 7%.

REINFORCING STEEL: All steel #4 or smaller shall be A-615 grade 40, unless installed in a reinforced concrete foundation otherwise grade 60.

SMOKE ALARMS: Shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Required alarms shall be equipped with primary power from the building wiring and shall be equipped with battery backup. Alarms shall be interconnected to provide audible in all areas.

HFV INSTALLATION: R106.1.2. Manufacturer's installation instructions. Manufacturer's installation instructions as required by this code, shall be available on the job site at the time of inspection.

FASTENER NOTES: As a minimum, any fastener in contact with pressure treated wood must be hot dip galvanized (ASTM A153 for connectors and ASTM 153 for fasteners and anchors).

SAINTMARY SEWER: To Provide Adequate Drainage the Sewer Connection will exit the home UNDER the Footing. DO NOT EXCAVATE THE SITE TO DEPT!

WHOLE HOUSE VENTILATION: Ventilation shall consist of source specific, intermittently operating fans with a minimum 50 cfm rating in each room and utility and a minimum 100 cfm in the kitchen. Using approved mechanical exhaust fans. Minimum 100 cfm in kitchen to include integral fresh air intake vents.

DIRECT VENTING: Ducts to be vented to outside. Maximum length outside 25 feet less 2' for each 90 degree bend. For R90

Sheet Description
 Details
 1068 Turnwater South
 Part Name
 7 of 7

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These plans were exclusively designed for
Bonnie Larson
 820 Oakmont Drive
 Cle Elum, WA 98922
 Parcel # - 262324

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Realty Homes Inc.

1524 Alexander Ave E, P.O. Box 9424
 Pullman, WA 99163
 Fax: 253.222.2249 Fax: 253.423.2010
 Project: Jane Slaughter
 Customer Job Number: _____
 Project Number: _____

Contractor License Expiration
 REALTOR License Exp: 02/15/12
 OR CCB # 166316 Exp: 08/19/11
 Lic # 8: 856-26248 Exp: 08/19/11

Printed on 11/23/2011 at 2:02:56 PM



CBRE

CB RICHARD ELLIS

LETTER OF
TRANSMITTAL

1145 Broadway Plaza, Suite 1000
Tacoma, WA 98402

F 253-596-0059

Teresa Patton
Team Leader
teresa.patton@cbre.com
www.cbre.com/lsgseattle

To:	Community Development Services	Date:	December 8, 2011
Company:	Kittitas County	From:	Teresa Patton
Subject:	Variance Application Package	Direct: Line:	253-596-0043

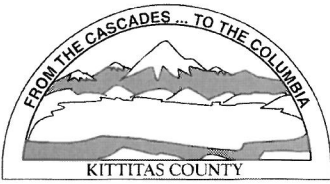
MESSAGE:

Please find enclosed a Variance Application along with exhibits and a check for \$638.00.

Upon review, please give us a call with any questions or if anything else is needed to submit for a variance review.

Thank you,

Teresa Patton



KITTITAS COUNTY PERMIT CENTER
411 N. RUBY STREET, ELLENSBURG, WA 98926

RECEIPT NO.: 00013192

COMMUNITY DEVELOPMENT SERVICES
(509) 962-7506

PUBLIC HEALTH DEPARTMENT
(509) 962-7698

DEPARTMENT OF PUBLIC WORKS
(509) 962-7523

Account name: 024992

Date: 12/12/2011

Applicant: LARSON, BONNIE E

Type: check # 5814

<u>Permit Number</u>	<u>Fee Description</u>	<u>Amount</u>
VA-11-00004	ADMINISTRATIVE VARIANCE	523.00
VA-11-00004	ADMIN VARIANCE FM FEE	65.00
VA-11-00004	PUBLIC WORKS ADMIN VARIANCE	50.00
	Total:	638.00